

14 CAIRO AVENUE, PADSTOW

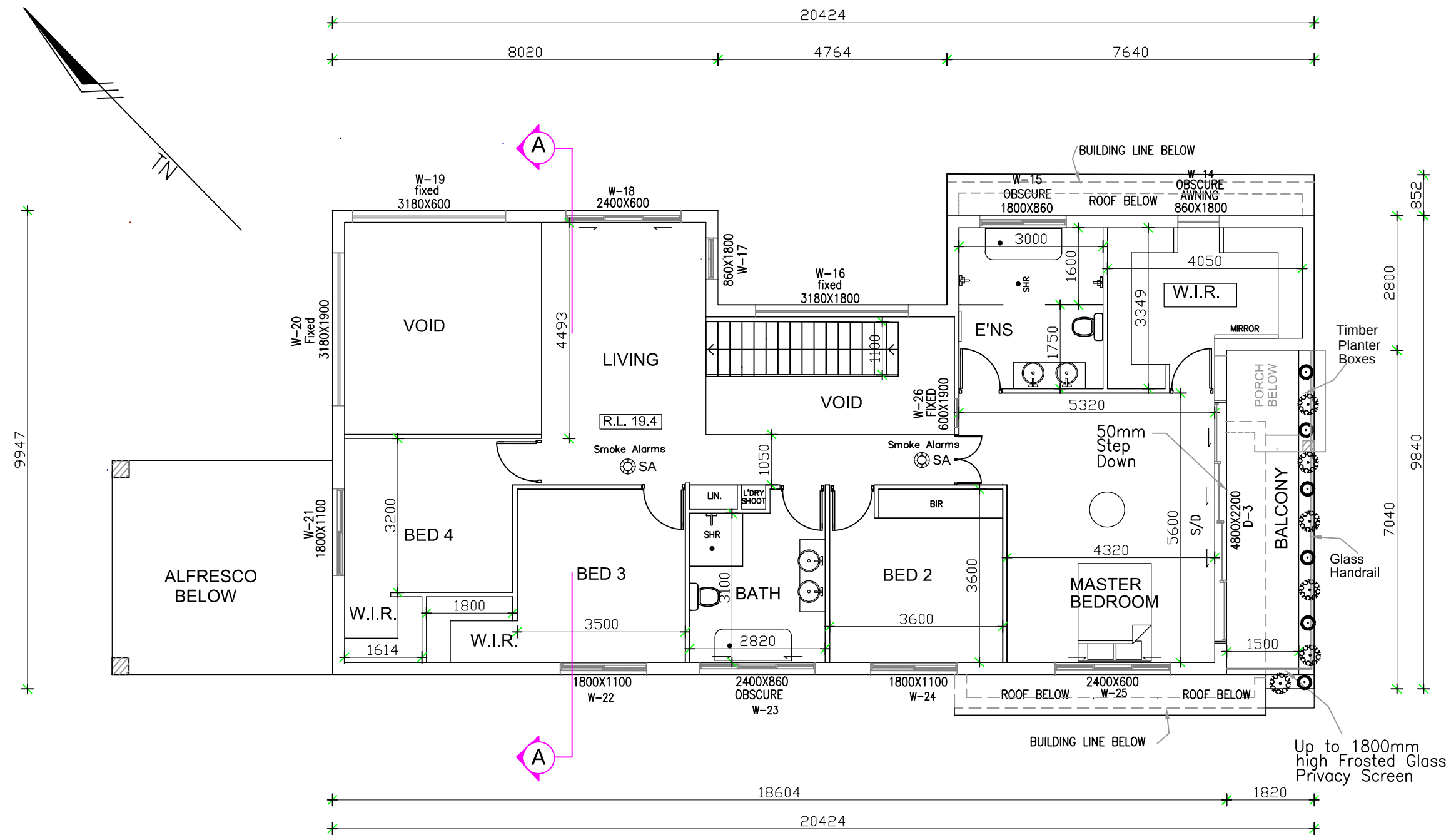
PROPOSED SINGLE DWELLING

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ALUMINUM WINDOW & DOOR SCHEDULE					
NO.	LOCATION	TYPE	SIZE (WxH)	QTY	
W-1	STUDY	FIXED CORNER WINDOW	width(1)2750X1950 width(2)600X1950	1	
W-2	STUDY	SLIDING WINDOW	2400X600	1	
W-3	BATH	SLIDING WINDOW	1200X860	1	OBSCURE
W-4	STAIRS	FIXED WINDOW	3180X1800	1	
W-5	DINING	SLIDING WINDOW	1800X1800	1	
W-7	FAMILY	Single hung	600X1170	1	
W-8	FAMILY	FIXED WINDOW	3180X1800	1	
W-9	KITCHEN	SLIDING WINDOW	2400X600	1	
W-10	W/IN PANTRY	SLIDING WINDOW	1200X600	1	
W-11	L'DRY	SLIDING WINDOW	1200X860	1	
W-12	THEATRE AREA	SLIDING WINDOW	2400X600	1	
W-13	GARAGE	SLIDING WINDOW	1800X1030	1	OBSCURE
W-14	W.I.R.	AWNING WINDOW	860X1800	1	OBSCURE
W-15	E'NS	SLIDING WINDOW	1800X860	1	OBSCURE
W-16	STAIRS	FIXED WINDOW	3180X1800	1	
W-17	LIVING	SLIDING WINDOW	860X1800	1	
W-18	LIVING	SLIDING WINDOW	2400X600	1	
W-19	VOID	FIXED WINDOW	3180X600	1	
W-20	VOID	FIXED WINDOW	3180X1900	1	
W-21	BED 4	SLIDING WINDOW	1800X1100	1	
W-22	BED 3	SLIDING WINDOW	1800X1100	1	
W-23	BATH	SLIDING WINDOW	2400X860	1	OBSCURE
W-24	BED 2	SLIDING WINDOW	1800X1100	1	
W-25	MASTER BED	SLIDING WINDOW	2400X600	1	
W-26	MASTER BED	FIXED WINDOW	600X1900	1	
D-1	DINING	SLIDING DOOR	1600X2200	1	
D-1A	STUDY NOOK	SLIDING DOOR	1800X2200	1	
D-2	KITCHEN	SLIDING DOOR	3500X2200	1	
D-3	MASTER BED	SLIDING DOOR	4800X2200	1	

Refer to schedule of windows BASIX commitments





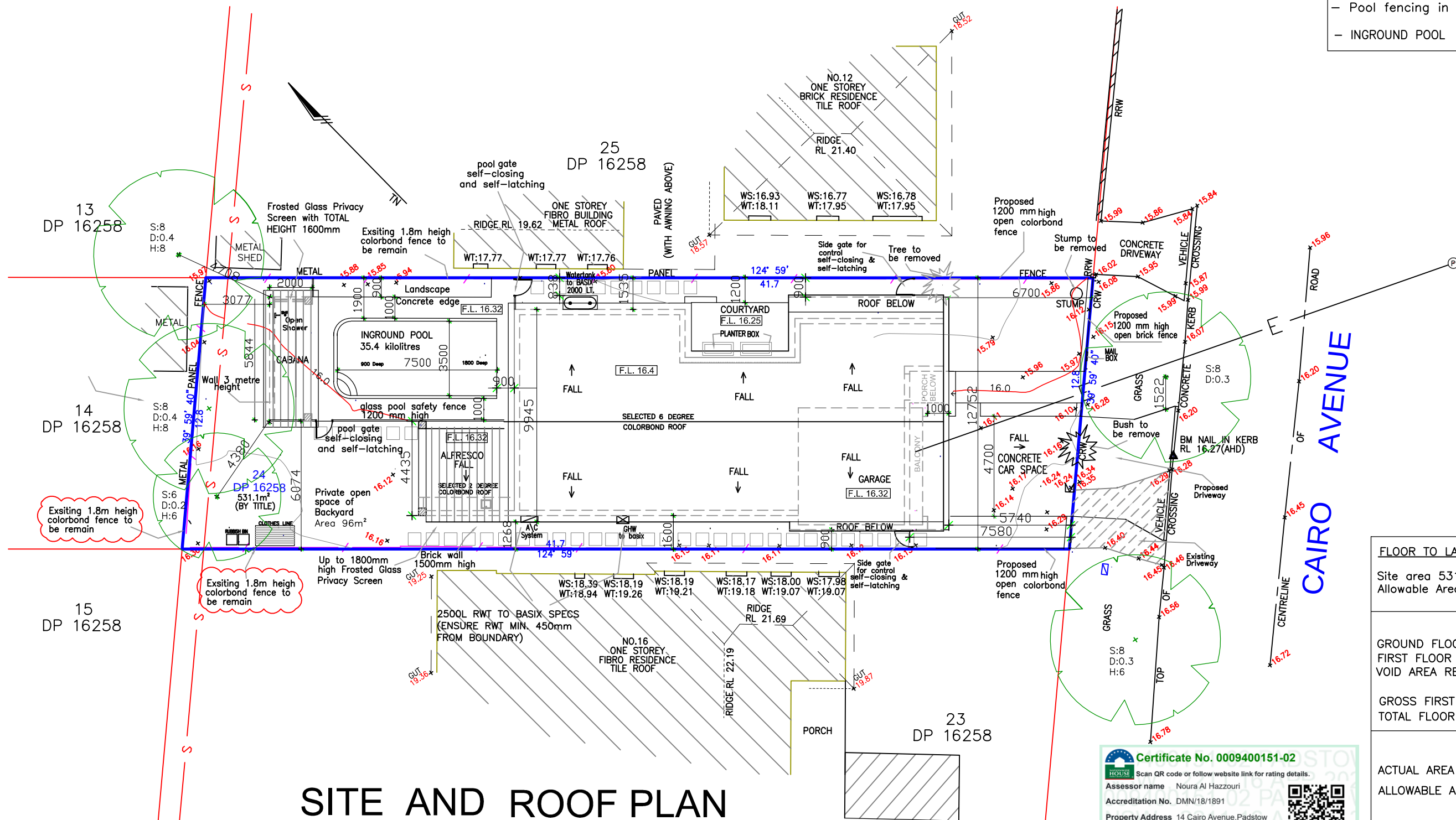
FIRST FLOOR PLAN



	REVISION SCHEDULE		Project Title: PROPOSED TWO LEVEL DWELLING		Drawing Title: FIRST FLOOR PLAN		Date 30/01/2025
	Issue	DESCRIPTION					
	(A)	For DA Application	Address: No.14 CAIRO AVENUE		Scale: 1:100		Drwg.No: 670 - 06
					Drawn: S. B.		
			Suburb: PADSTOW	Postcode: 2211	LOT 24 D.P. 16258	Building complies to BASIX certificate Numbers :	

NOTE :-

- All openings to pool to be protected in accordance with AS1926
- Pool fencing in accordance with AS1926
- INGROUND POOL 35.4 KILOLITRES



FLOOR TO LAND RATIO CALCULATIONS

Site area 531.1 m²
Allowable Area : 50% =265.55 m²

GROUND FLOOR	= 137.7 m ²
FIRST FLOOR	= 158 m ²
VOID AREA REDUCTION	= 18+12.6 m ²
	= 30.6 m ²
GROSS FIRST FLOOR	= 127.4 m ²
TOTAL FLOOR AREA	= 265.1 m ²

ACTUAL AREA 265.1 m² LESS THAN
ALLOWABLE AREA : 50% =265.55 m²



SITE AND ROOF PLAN

REVISION SCHEDULE

Issue	DESCRIPTION
(A)	For DA Application

Project Title: PROPOSED TWO LEVEL DWELLING

Address: No.14 CAIRO AVENUE

Suburb: PADSTOW Postcode: 2211 LOT 24 D.P. 16258

Drawing Title: SITE AND ROOF PLAN

Scale: 1:200

Drawn: S. B.

Building complies to BASIX certificate Numbers :

Date 30/01/2025

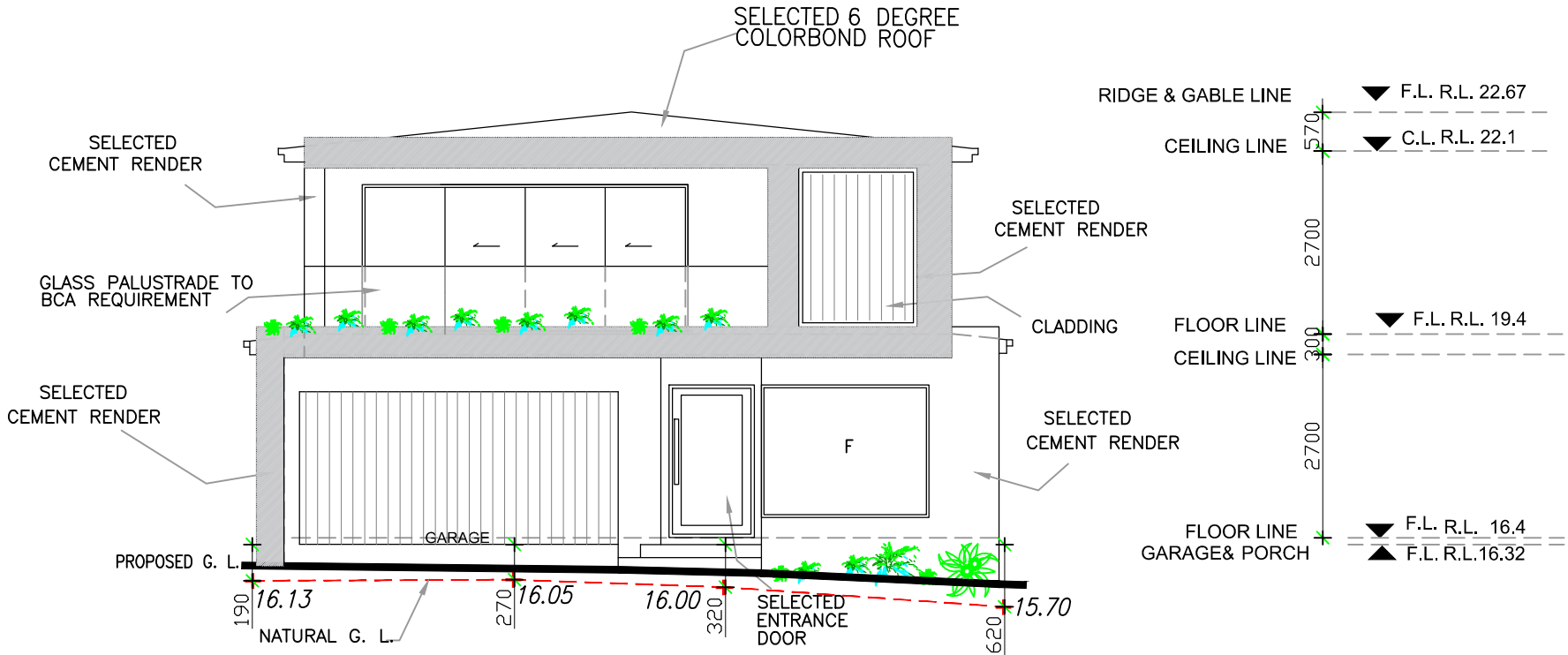
Drwg.No:

670 - 04

Electrical Legend Standard items :		Electrical Legend Extra over items :	
SINGLE POWER POINT (SPP)	0	AIR CONDITIONING	1
DOUBLE POWER POINT (DPP)	40	GAS POINT	2
CEILING LIGHT OUTLET	35	AUTO DR SINGLE POWER POINT	1
EXT.WALL MOUNTED LIGHT POINT	4	ALARM SINGLE POWER POINT	1
EXT. WEATHERPROOF DPP	1	INTERCOM SINGLE POWER POINT	1
SMOKE ALARMS	4	VACUUM SINGLE POWER POINT	0
EXHAUST FAN	0	SPA SINGLE POWER POINT	0
2 – WAY SWITCH	1	DOWN LIGHT	30
D/W SINGLE POWER POINT	1	ENT.WALL MOUNTED LIGHT	0
REF. SINGLE POWER POINT	1	EXT. WEATHERPROOF SPP	1
M/W SINGLE POWER POINT	1	DATA POINTS	4
R/H SINGLE POWER POINT	1	HEAT/FAN/LIGHT (4)	2
GAS C/T OR UPRIGHT SPP	1	HEAT/FAN/LIGHT (2)	1
UBO SINGLE POWER POINT	1	SOLAR PACK PROMOTION	1
OVEN ISOLATOR SWITCH	1		
W/M DOUBLE POWER POINT	1		
T.V POINT	4		
PHONE POINT	2		

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS



South East elevation

NOTE:
NO RETAINING OF SOIL REQUIRED AND NO RETAINING WALLS
NECESSARY. GROUND LEVELS WILL BE GRADED AND
BATTERED MAXIMUM GRADE 1 IN 5 VERTICAL TO HORIZONTAL
TO BE 250mm BELOW FINISHED FLOOR LEVEL

**Certificate No. 0009400151-02**
Scan QR code or follow website link for rating details.

Assessor name Noura Al Hazzouri
Accreditation No. DMN/18/1891
Property Address 14 Cairo Avenue, Padstow
NSW, 2211

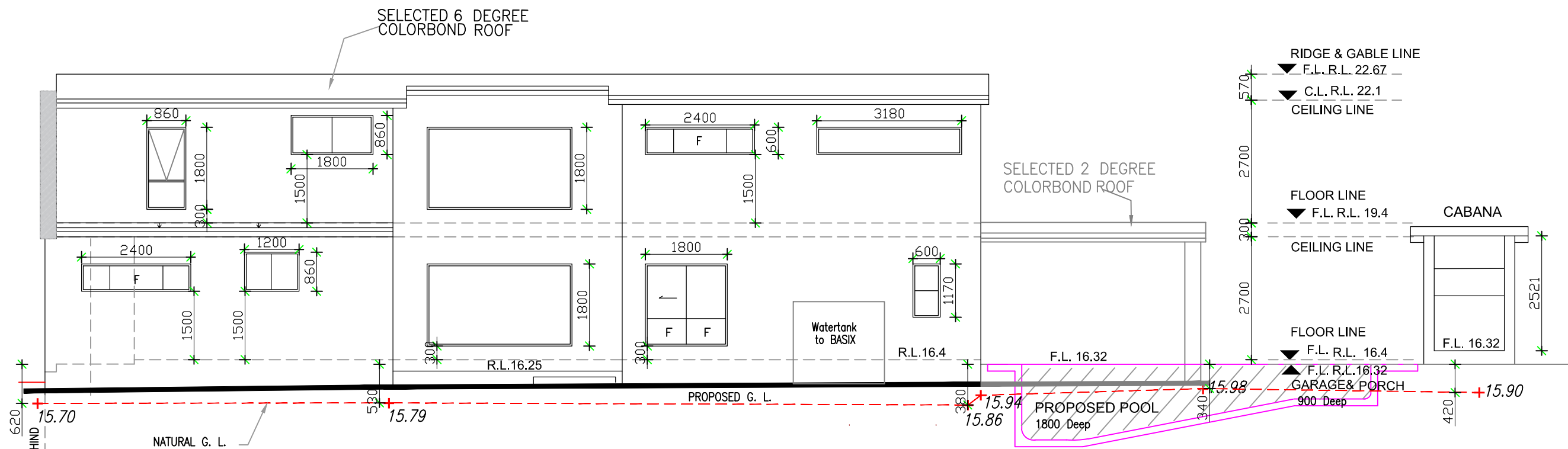


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	REVISION SCHEDULE		Project Title: PROPOSED TWO LEVEL DWELLING		Drawing Title: South East elevation		Date 30/01/2025	
	Issue	DESCRIPTION			Scale: 1:100		Drwg.No: 670 - 08	
	(A)	For DA Application	Address: No.14 CAIRO AVENUE		Drawn: S. B.			
					Building complies to BASIX certificate Numbers :			
			Suburb: PADSTOW	Postcode: 2211	LOT 24 D.P. 16258			

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CONDITIONS



South West elevation

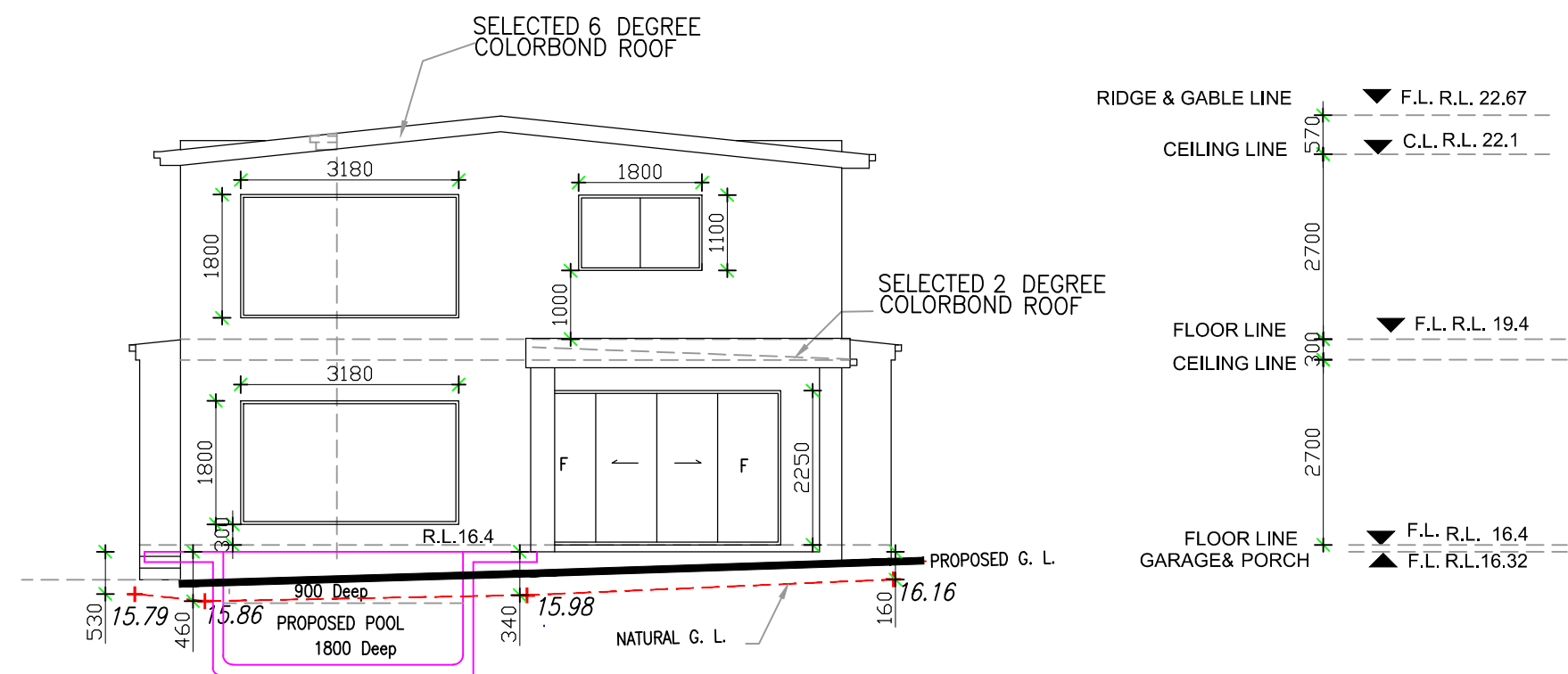
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NECESSARY. GROUND LEVELS WILL BE GRADED AND
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TO BE 250mm BELOW FINISHED FLOOR LEVEL



	REVISION SCHEDULE		Project Title: PROPOSED TWO LEVEL DWELLING		Drawing Title: South West elevation		Date 30/01/2025	
	Issue	DESCRIPTION						
	(A)	For DA Application	Address: No.14 CAIRO AVENUE		Scale: 1:100		Drwg.No: 670 - 10	
					Drawn: S. B.			
					Building complies to BASIX certificate Numbers :			
		Suburb: PADSTOW	Postcode: 2211	LOT 24 D.P. 16258				

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

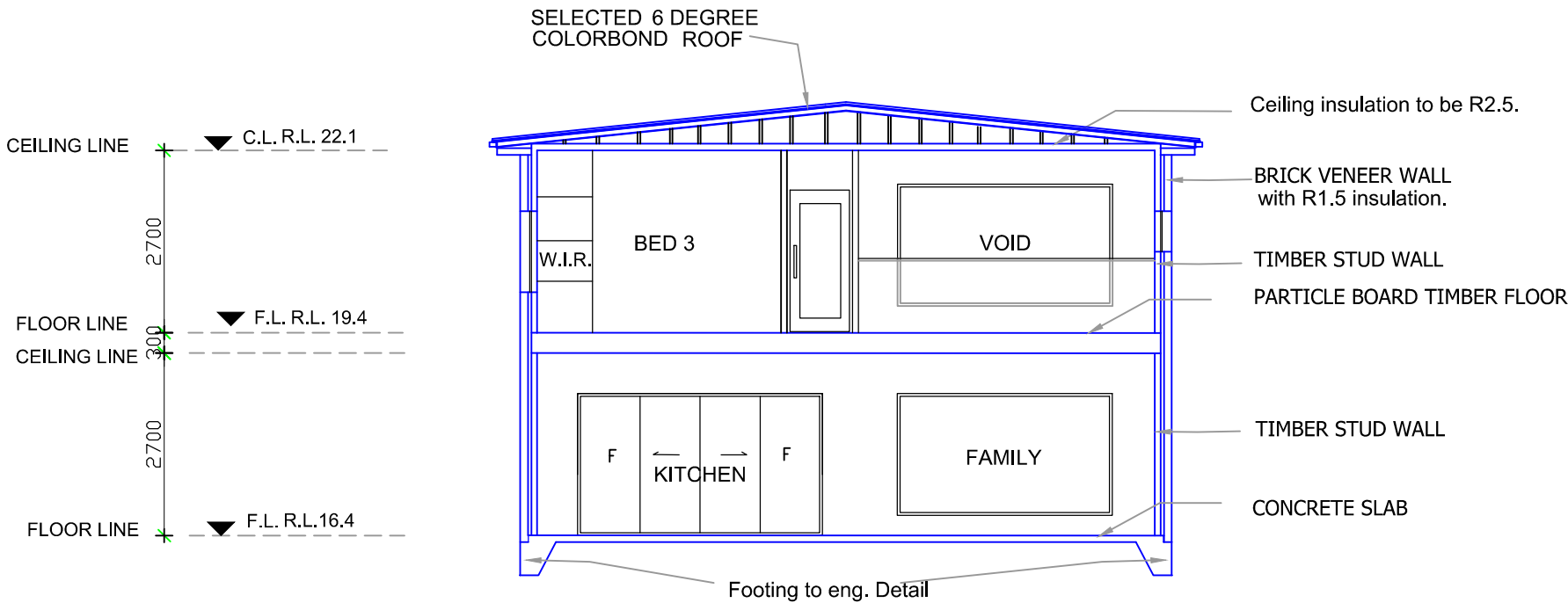


North West elevation

NOTE:
NO RETAINING OF SOIL REQUIRED AND NO RETAINING WALLS
NECESSARY. GROUND LEVELS WILL BE GRADED AND
BATTERED MAXIMUM GRADE 1 IN 5 VERTICAL TO HORIZONTAL
TO BE 250mm BELOW FINISHED FLOOR LEVEL

	REVISION SCHEDULE		Project Title: PROPOSED TWO LEVEL DWELLING		Drawing Title: North West elevation		Date 30/01/2025
	Issue	DESCRIPTION					
	(A)	For DA Application	Address: No.14 CAIRO AVENUE		Scale: 1:100		Drwg.No: 670 - 09
					Drawn: S. B.		
			Suburb: PADSTOW	Postcode: 2211	LOT 24 D.P. 16258	Building complies to BASIX certificate Numbers :	

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND & FIRST FLOOR TO BE
2340mm(H)



Basix and Nathers commitments are:

- R6.5 insulation to plasterboard ceiling
- R1.3 foil blanket and sisalation underneath metal roof
- Downlights which penetrate the ceiling to be fitted with approved fireproof, non-ventilated covers allowing uninterrupted ceiling insulation
- foil+R2.7 insulation to all brick veneer external walls
- R2.7 insulation to all garage, bath and ldry internal walls
- R2.5 insulation under the ground floor slab
- garage, ldry and bathrooms windows shall be: Aluminium standard single-glazed: low-e glass: $U = 5.40$ & $SHGC = 0.58$
- all remaining windows and sliding doors shall be: Aluminium standard double glazed, argon filled, low-e glass : $U= 4.10$ & $SHGC= 0.52$
- RWT: 2,000L to collect 80sqm of roof area and to be connected to toilets and landscape
- hot water system: 4star gas instantaneous or equivalent
- pool capacity: 35.4 Kl
- solar panels (photovoltaic system): 5 peak KWh
- ceiling fans to all bedrooms, GF study, ff living and ff void
- Garage door: Metal with R1.0 insulation

SECTION A-A



	REVISION SCHEDULE		Project Title: PROPOSED TWO LEVEL DWELLING		Drawing Title: SECTION A-A		Date 30/01/2025
	Issue	DESCRIPTION			Scale: 1:100		Drwg.No: 670 - 13
	(A)	For DA Application	Address: No.14 CAIRO AVENUE				
		Suburb: PADSTOW	Postcode: 2211	LOT 24 D.P. 16258	Building complies to BASIX certificate Numbers :		

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